

50-14.6 Residential-Urban (R-2).

A. Purpose.

The R-2 district is established to accommodate multi-family apartments and townhouses, in an urban setting. This district also allows for single-family detached dwellings, duplexes and group living accommodations as shown in Table 50-19.8. The district is intended primarily for locations closer to commercial and mixed use activity centers, and may serve as a transition between lower-density residential areas and more intense commercial and mixed use neighborhoods;

TABLE 50-14.6-1 R-2 DISTRICT DIMENSIONAL STANDARDS		
		LOT STANDARDS
Minimum lot area per family	One-family	4,000 sq. ft. or average of the developed 1-family lots on the block face
	Two-family	2,000 sq. ft.
	Multi-family	750 sq. ft.
	Townhouse	2,200 sq. ft.
Minimum lot frontage	One-family and two-family	30 ft. or the average of the developed lots with similar uses on the block face
	Townhouse, per family	20 ft.
	Multi-family and non-residential	50 ft.
		STRUCTURE SETBACKS
Minimum depth front yard		The smaller of 15 ft. or average of adjacent developed lots facing the same street
Minimum width of side yard (one and two-family)	General	6 ft
	For lots with 30 ft or less of frontage	3 ft.
	Two-family shared wall	0 ft setback for portion of the principal structure with the shared wall
Minimum width of side yard (other principal structures)	General	10 ft.
	Townhouse shared wall	0 ft setback for portion of the principal structure with the shared wall
Corner Lot: width of front side yard	Principal and Accessory Structures	10 ft.
Minimum depth of rear yard		15 ft.
		STRUCTURE HEIGHT
Maximum height of building		50 ft.
<p>Section 50.21 <i>Dimensional standards</i> contains additional regulations applicable to this district. For lots with less than the minimum lot frontage, refer to 50-38.5.</p> <p>Note: Building and Fire Codes may require plan/design changes and additional fire protection for structures built close to the property line.</p>		

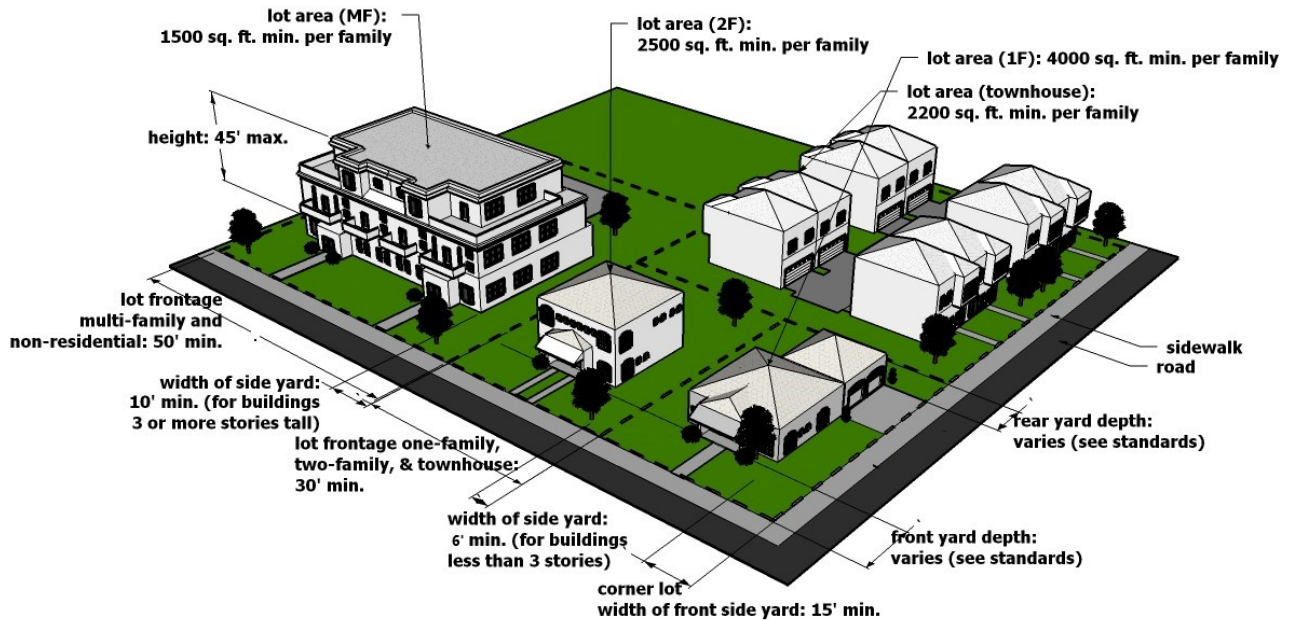
B. Example.



C. Illustration.

R-2 Example Lot Layout

6'



(Ord. No. 10042, 8-16-2010, § 1; Ord. No. 10044, 8-16-2010, § 6; Ord. No. 10096, 7-18-2-11, § 8; Ord. No. 10192, 12-17-2012, § 3, Ord. No. 10659, 10-28-2019 § 2, Ord. No 10888, 6-3-2024, § 2)